

Rehabilitation of Wilson Bruce Evans Home

Phase I Porch Reconstruction and Masonry Repair

OWNER:

Wilson Bruce Evans Home
33 E Vine St
Oberlin, OH 44704



WILSON BRUCE
EVANS HOME
HISTORICAL SOCIETY

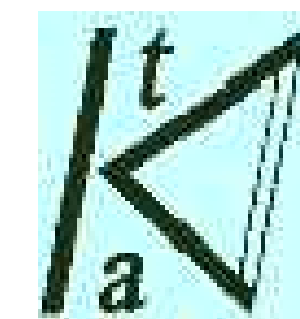
ARCHITECT:

Robert P. Madison International, Inc.
1215 E Superior Ave. Suite 110
Cleveland, OH 44114



STRUCTURAL:

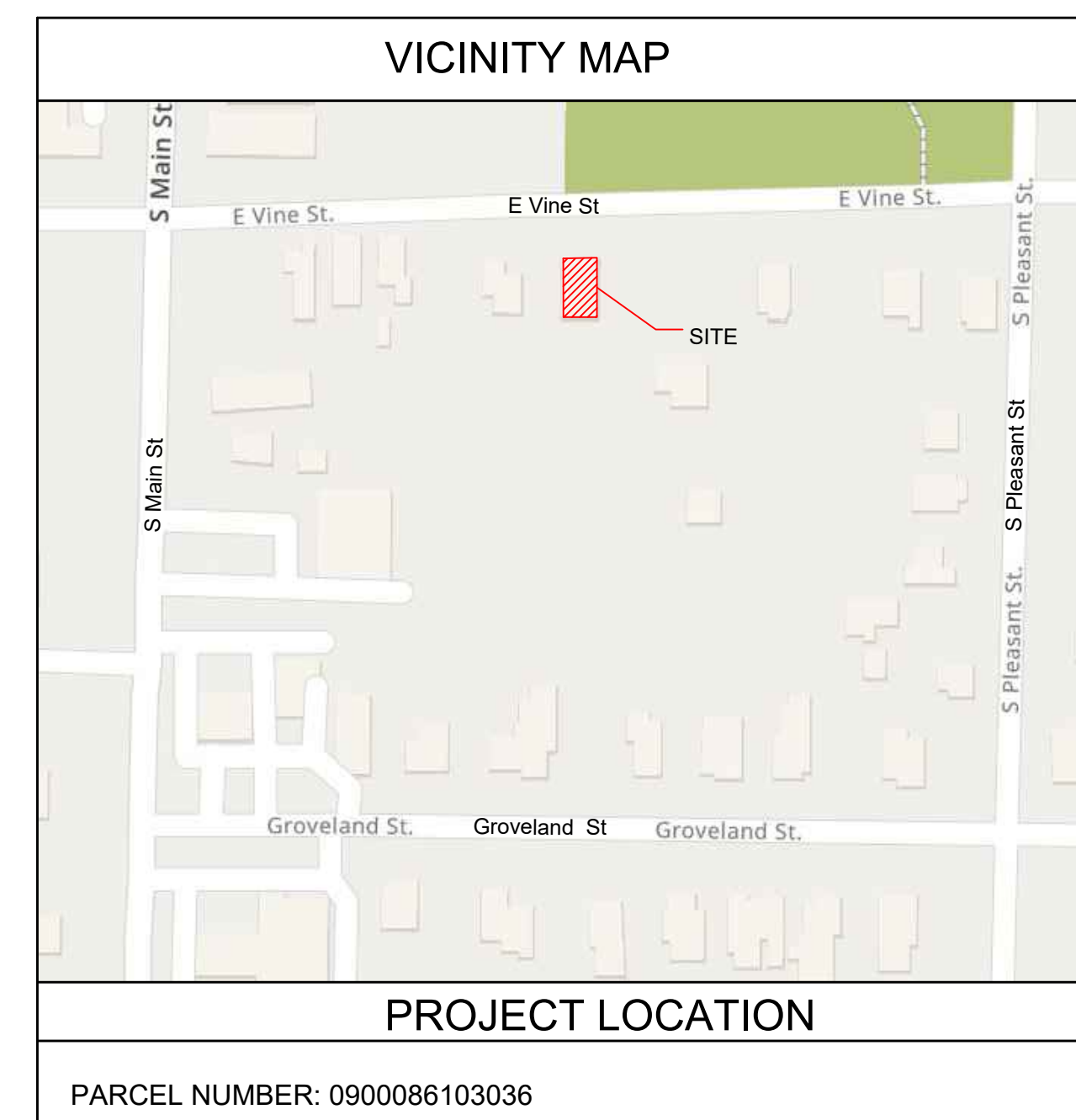
Thomas Kovach Associates, Inc
10098 Chevy Chase Dr.
Strongsville, OH 44136



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REVISIONS		
NUMBER	DESCRIPTION	DATE
	PERMIT SET	8/10/2023
	RE-BID SET	8/31/2023

DRAWING SYMBOLS		
	DETAIL NUMBER SHEET NUMBER	BUILDING SECTION
	DETAIL NUMBER SHEET NUMBER	WALL SECTION
	ELEVATION VIEW	
	SHEET NUMBER	INTERIOR ELEVATION
	FLOOR LEVEL ELEVATION MARK	
	DOOR NUMBER	
	WINDOW NUMBER	
	REVISION NUMBER	

ABBREVIATIONS					
AB	ANCHOR BOLT	CSMT	CASEMENT	GA	GAUGE, GAGE
ABV	ABOVE	CT	CERAMIC TILE	GALV	GALVANIZED
ADD	ADDENDUM	CTL	CONTROL	GRAN	GRANULAR
ADJ	ADJACENT	CTR	COUNTER	GSF	GROSS SQUARE FEET
ALT	ALTERNATE	DEC	DECREASE	GT	GROUT
ALUM	ALUMINUM	DEMO	DEMOLITION	GYP	GYPSPUM-DRYWALL
AP	ACCESS PANEL	DF	DRINKING FOUNTAIN	HDR	HEADER
APX	APPROXIMATE	DH	DOUBLE HUNG	HDW	HARDWARE
ARCH	ARCHITECT	DIM	DIMENSION	HM	HOLLOW METAL
ASPH	ASPHALT	DISP	DISPOSAL	HOR	HORIZONTAL
AT	ASPHALT TILE	DN	DOWN	HT	HEIGHT
AUTO	AUTOMATIC	DR	DOOR	INC	INCREASE
BEL	BELOW	DS	DOWN SPOUT	INCL	INCLUDE
BET	BETWEEN	DTL	DETAIL	INT	INTERIOR
BIT	BITUMINOUS	DWG	DRAWING	INT	INTERIOR
BLDG	BUILDING	EJ	EXPANSION JOINT	JT	JOINT
BLK	BLOCK	EL	ELEVATION	LBL	LABEL
BLKG	BLOCKING	ELEC	ELECTRIC	LG	LIGHT
BM	BENCH MARK	EMER	EMERGENCY	LTG	LIGHT
BOT	BOTTOM	ENC	ENCLOSURE	STL	STEEL
BPL	BEARING PLATE	EQUIP	EQUIPMENT	STOR	STORAGE
BRG	BEARING	EXIST	EXISTING	STRUC	STRUCTURE
BRK	BRICK	EXP	EXPANSION	SYS	SYSTEM
BVL	BEVELED	EXT	EXTERIOR	TEL	TELEPHONE
CB	CATCH BASIN	FB	FACE BRICK	THK	THICK (NESS)
CFL	COUNTER FLASHING	FFE	FINISH FLOOR	TYP	TYPICAL
CIPC	CAST-IN-PLACE CONCRETE	FFL	FINISH FLOOR LEVEL	UL	UNDERWRITERS LABORATORY
CIRC	CIRCUMFERENCE	FIN	FINISH (ED)	UNF	UNFINISHED
CLR	CLEAR (ANCE)	FLG	FLASHING	VERT	VERTICAL
CMU	CONCRETE MASONRY UNIT	FLR	FLOOR	WD	WOOD
COL	COLUMN	FND	FOUNDATION	WO	WITHOUT
COMP	COMPACT (ED)	FOC	FACE OF CONCRETE		
CONC	CONCRETE	FOM	FACE OF MASONRY		
CONST	CONSTRUCTION	FOF	FACE OF FINISH		
CONT	CONTINUOUS	FOM	FACE OF MASONRY		
CORR	CORRUGATED	FTG	FOOTING	PCF	POUNDS PER CUBIC FOOT
CRS	COURSE	FUR	FURRED (ING)	PFL	POUNDS PER LINEAL FOOT

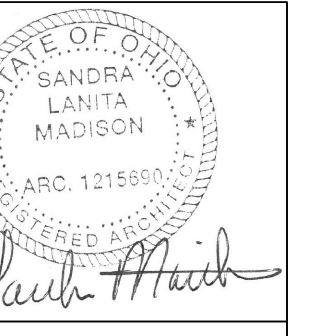


GENERAL DEMOLITION NOTES:

1. CONTRACTOR SHALL CAREFULLY EXAMINE AND VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF PERTINENT DISSIMILARITIES PRIOR TO PROCEEDING WITH DEMOLITION WORK. UNFAMILIARITY WITH THE WORK OR FAILURE TO NOTIFY THE ARCHITECT OF CHANGE SHALL NOT BE CAUSE FOR ADDITIONAL COMPENSATION FROM THE OWNER
2. DIMENSIONS SHOWN ON DEMOLITION DRAWINGS ARE PROVIDED FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY (PLUS OR MINUS) BASED ON EXISTING FIELD CONDITIONS AND NEW CONSTRUCTION INTERFACE. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF PERTINENT DISSIMILARITIES.
3. TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO ADJACENT AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE INCURRED.
4. ALL DEMOLITION ACTIVITIES SHALL BE COORDINATED WITH THE OWNER TO MINIMIZE DISRUPTION OF NORMAL DAILY ACTIVITIES IN THE PROJECT AREA.
5. ALL DEMOLISHED ITEMS ARE TO REMAIN THE PROPERTY OF THE OWNER AT THEIR DISCRETION. ALL ITEMS NOT RETAINED BY THE OWNER SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
6. NOTIFY ARCHITECT PRIOR TO DEMOLITION IF ITEM INDICATED TO BE REMOVED IS SUSPECTED AS STRUCTURAL ELEMENT.
7. PATCH AND REPAIR ALL AREAS AROUND DAMAGED OR REMOVED WORK TO THE SATISFACTION OF THE ARCHITECT.
8. DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE REMOVED, U.N.O.
9. SOLID LINES INDICATE EXISTING CONSTRUCTION TO REMAIN, U.N.O.
10. PROMPTLY REMOVE DEMOLISHED MATERIALS FROM OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM. DO NOT BURN DEMOLISHED MATERIALS.

GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREON. THEY SHALL INVESTIGATE, VERIFY, AND BE RESPONSIBLE FOR CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE OWNER OF ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL CHECK AND COMPARE DRAWINGS FURNISHED TO HIM IMMEDIATELY UPON RECEIPT AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. THE CONTRACTOR SHALL VERIFY THE DIMENSIONS BEFORE LAYING OUT THE WORK.
2. EXERCISE CARE IN LOCATING AND IDENTIFYING UNDERGROUND LINES BEFORE EXCAVATION IN ADJACENT AREAS.
3. EXISTING WORK WHICH HAVE BEEN CUT, DAMAGED OR ALTERED IN ANY WAY DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED IN AN APPROVED MANNER TO MATCH EXISTING OR ADJOINING WORK. ALL SUCH WORK SHALL BE PERFORMED BY CONTRACTOR AT HIS OR HER EXPENSE AND ALL REPAIRED/ REPLACED WORK SHALL BE APPROVED BY ARCHITECT.
4. FIELD VERIFY EXISTING DIMENSIONS AND CONDITIONS PRIOR TO FABRICATION OF ANY ITEMS.
5. WHERE PROPOSED WORK ADJOINS EXISTING MASONRY, COURSING, BONDING AND MORTAR JOINT PROFILE SHALL MATCH EXISTING.
6. PROTECT EXISTING WORK WHICH IS SCHEDULED TO REMAIN IN PLACE. REPLACE/REPAIR WORK, DAMAGED DURING CONSTRUCTION TO ITS ORIGINAL CONDITION AT THE TIME OF AWARD OF THE CONTRACT.
7. DEMOLITION PLANS SHALL BE READ IN CONJUNCTION WITH THE RESPECTIVE FLOOR PLANS AND FINISH SCHEDULE.
8. ALIGN PROPOSED WORK WITH EXISTING WORK EXCEPT WHERE OTHERWISE DIMENSIONED OR DETAILED.
9. THE ARCHITECT IS SOLELY RESPONSIBLE FOR THE DESIGN INTERPRETATION OF THE CONSTRUCTION DOCUMENTS.
10. WHENEVER THERE ARE DISCREPANCIES IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BASE HIS BID UPON THE BETTER QUALITY OR GREATER QUANTITY OF THE MATERIAL OR WORK DESCRIBED.
11. THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY FIELD CONDITIONS AND SHALL CAREFULLY COMPARE SUCH FILED MEASUREMENTS, CONDITIONS, AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH CONTRACT DOCUMENTS BEFORE COMMENCING ACTIVITIES. ERROR, INCONSISTENCIES OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ARCHITECT AT ONCE. NO ALLOWANCE WILL BE MADE ON BEHALF OF THE CONTRACTOR OR SUBCONTRACTORS FOR FAILURE TO VISIT THE SITE.
12. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS AND METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF WORK UNDER THE CONTRACT, UNLESS CONTRACT DOCUMENTS GIVE OTHER SPECIFIC INSTRUCTIONS CONCERNING THESE MATTERS. ANY WORK THAT MUST BE REMOVED OR RELOCATED DUE TO LACK OF COORDINATION OF THE TRADES IS SOLELY THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL MAINTAIN A SECURE SITE THROUGHOUT THE CONSTRUCTION PROCESS.



**REHABILITATION OF
WILSON BRUCE EVANS HOUSE**
 PHASE I PORCH RECONSTRUCTION AND MASONRY REPAIR
 33 E. VINE STREET OBERLIN, OHIO 44074

REVISIONS

NO.	DATE	DESCRIPTION
	8/10/2023	PERMIT SET
	8/31/2023	RE-BID SET

DRAWING TITLE

GENERAL NOTES

PROJECT NO.: 2118

DATE: 8/10/2023

SCALE:

DRAWN:

CHECKED:

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SHEET NUMBER

G-0

REFERENCE SURVEYS

Boundary Survey by KS Associates, Inc. dated February 2021. Lorain County Tax Map Survey #50239. (KS)
 Boundary Survey by Kleinoeder, Schmidt & Associates dated July 1978. Lorain County Tax Map Survey #24048.
 Original Village Plat of Oberlin, Volume 5, Page 30 of Lorain County Map Records. (Rec.)
 Lorain County Tax Maps

PLEASE NOTE

This Site Plan Survey was prepared without the benefit of a current title commitment. Therefore, the Riverstone Company cannot determine if any easements, restrictions and reservations affect the subject property. If the Riverstone Company is provided with the title commitment, a revised survey map will be provided at Riverstone's hourly fee schedule.

EAST VINE STREET 49.50'
 (A PUBLIC RIGHT-OF-WAY)

PARCEL AREA

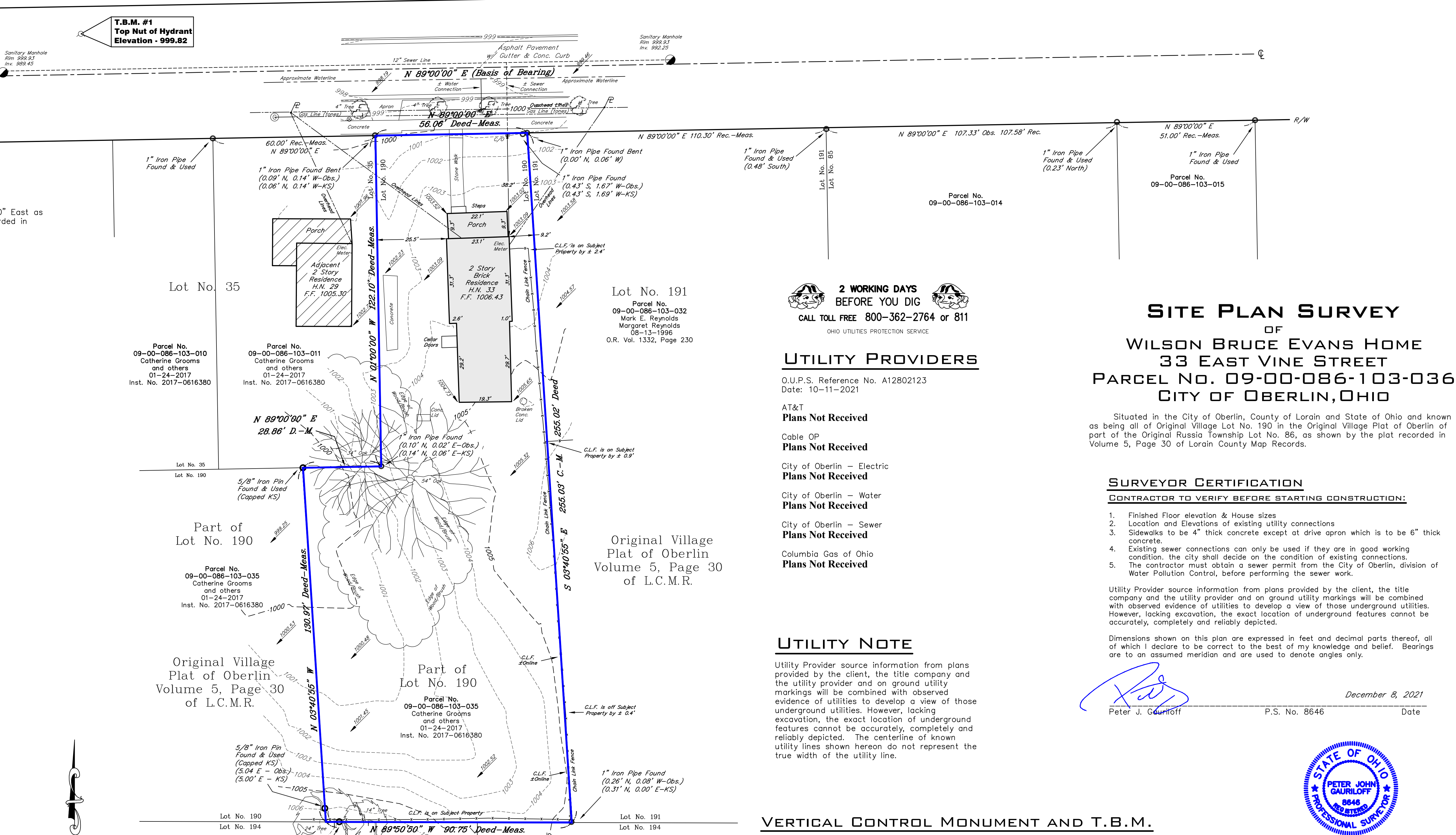
0.4393 Acres - 19,135 Sq.Ft.

BASIS OF BEARINGS

The centerline of East Vine Street as North 89°00'00" East as shown in the Original Village Plat of Oberlin as recorded in Volume 5, Pages 30 of Lorain County Map Records.

LEGEND

<ul style="list-style-type: none"> Monument Box Found Iron Pin Found 5/8"x30" Iron Pin Set Drill Hole Set / Found P.K. Nail Set / Found Gas Meter Gas Valve / Shut Off Utility Pole Light Pole Traffic Pole Ground Light Guy Anchor & Line Flag Pole Electric Meter Electric Manhole Electric Box Transformer Air Conditioning Unit Telephone Box / Manhole Cable Box / Manhole Traffic Control Box Tree 	<ul style="list-style-type: none"> Existing Spot Elevation Tag Proposed Spot Elevation Tag Hydrant Stand Pipe Water Service Valve Water Line Valve Water Meter Water Manhole Sanitary Manhole Clear Out Unknown Manhole Storm Manhole Catch Basin Yard Basin Sanitary Manhole Storm Manhole Electric Manhole Electric Box Transformer Air Conditioning Unit Telephone Box / Manhole Cable Box / Manhole Traffic Control Box Tree 	<ul style="list-style-type: none"> Parcel / Sublot Line Original Parcel / Sublot Line Original Lot / Section Line Centerline Subject Property Line Right-of-way Line Easement Line Waterline Gas Line Overhead Utility Line Electric Line Sanitary Sewer Storm Sewer Telephone Line Railroad Tracks Chain Link Fence Ornamental Fence Split Rail Fence Vinyl Fence Wood Fence Guardrail Tree or Brush Line 	<ul style="list-style-type: none"> A. Arc Length Adj. Adjacent Asph. Asphalt Pavement BSMT. F. Basement Floor B.N. Building Number Blng. Building B/W Bottom of Wall C.L.F. Chain Link Fence Calc./C. Calculated CB Catch Basin Cl. Class CH Chord Cr. Clear CMP Corrugated Metal Pipe Conc. Concrete Conn. Connection CPP Corrugated Plastic Pipe D.H. Drill Hole D.I.W.M. Ductile Iron Water Main D.V. Deed Volume Doc. Document E. East Elev. Elevation Enor. Encroachment Ex. Existing F.F. Finished Floor G.F. Garage Floor Gar. Garage Gut Gutter H.N. House Number Inst. Instrument Inv. Invert Elevation L.C.M.R. Lorain County Map Records L.C.A. Limited Common Area L.F. Linear Feet L/S Landscape Meas./M. Measured MH Manhole N. North N/A Not Available O.D.O.T. Ohio Department of Transportation O.U.P.S. Ohio Utility Protection Service O.L. Original Lot O.R. Official Record Obs. Observed Ord. Ordinance P.C. Point of Curvature P.I. Point of Intersection P.T. Point of Tangency P.O.B. Place of Beginning P.P.N. Permanent Parcel Number P.P.O.B. Principal Place of Beginning Pcl. Parcel P/L Property Line Prop. Proposed PVC Polyvinyl Chloride Pipe R/W Right-of-Way RCP Reinforced Concrete Pipe Rec./R. Record Res. Residence South S/L Sublot San. Sanitary Sq.Ft. Square Feet Sq.F. Square Feet Sta. Station Stm. Storm Sty. Story T/Tele. Telephone T.F. Top of Footer T/C Top of Curb TBM Temporary Benchmark To Be Removed T/W Top of Wall Typ. Typical VCP Vitrified Clay Pipe Vol. Volume W. West
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2 WORKING DAYS BEFORE YOU DIG
 CALL TOLL FREE 800-362-2764 or 811
 OHIO UTILITIES PROTECTION SERVICE

SITE PLAN SURVEY
 OF
WILSON BRUCE EVANS HOME
33 EAST VINE STREET
PARCEL NO. 09-00-086-103-036
CITY OF OBERLIN, OHIO

UTILITY PROVIDERS

- O.U.P.S. Reference No. A12802123
Date: 10-11-2021
- AT&T
Plans Not Received
- Cable OP
Plans Not Received
- City of Oberlin - Electric
Plans Not Received
- City of Oberlin - Water
Plans Not Received
- City of Oberlin - Sewer
Plans Not Received
- Columbia Gas of Ohio
Plans Not Received

Situated in the City of Oberlin, County of Lorain and State of Ohio and known as being all of Original Village Lot No. 190 in the Original Village Plat of Oberlin of part of the Original Russia Township Lot No. 86, as shown by the plat recorded in Volume 5, Page 30 of Lorain County Map Records.

SURVEYOR CERTIFICATION
CONTRACTOR TO VERIFY BEFORE STARTING CONSTRUCTION:

- Finished Floor elevation & House sizes
- Location and Elevations of existing utility connections
- Sidewalks to be 4" thick concrete except at drive apron which is to be 6" thick concrete.
- Existing sewer connections can only be used if they are in good working condition, the city shall decide on the condition of existing connections.
- The contractor must obtain a sewer permit from the City of Oberlin, division of Water Pollution Control, before performing the sewer work.

Utility Provider source information from plans provided by the client, the title company and the utility provider and on ground utility markings will be combined with observed evidence of utilities to develop a view of those underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted.

Dimensions shown on this plan are expressed in feet and decimal parts thereof, of which I declare to be correct to the best of my knowledge and belief. Bearings are to an assumed meridian and are used to denote angles only.

Peter J. Gauriloff
 Peter J. Gauriloff P.S. No. 8646 December 8, 2021 Date



UTILITY NOTE

Utility Provider source information from plans provided by the client, the title company and the utility provider and on ground utility markings will be combined with observed evidence of utilities to develop a view of those underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. The centerline of known utility lines shown hereon do not represent the true width of the utility line.

VERTICAL CONTROL MONUMENT AND T.B.M.

(VRS Virtual Reference Station 12-2-2021)

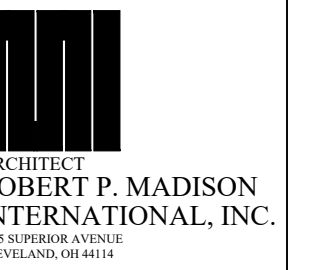
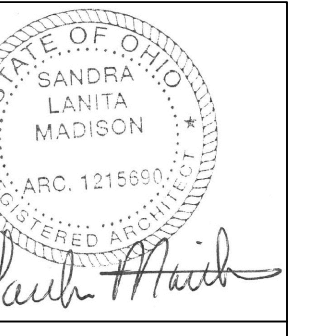
The horizontal component of the VRS network is based on the NAD83 (CORS96) reference frame; The vertical component of the VRS network is based on NAVD88 as determined by the NGS (National Geodetic Survey).

T.B.M. No. 1 Elevation: 999.82' (NAVD 1988)
 Top nut of hydrant on the northerly right of way of East Vine Street approximately 110 feet west of the subject property.

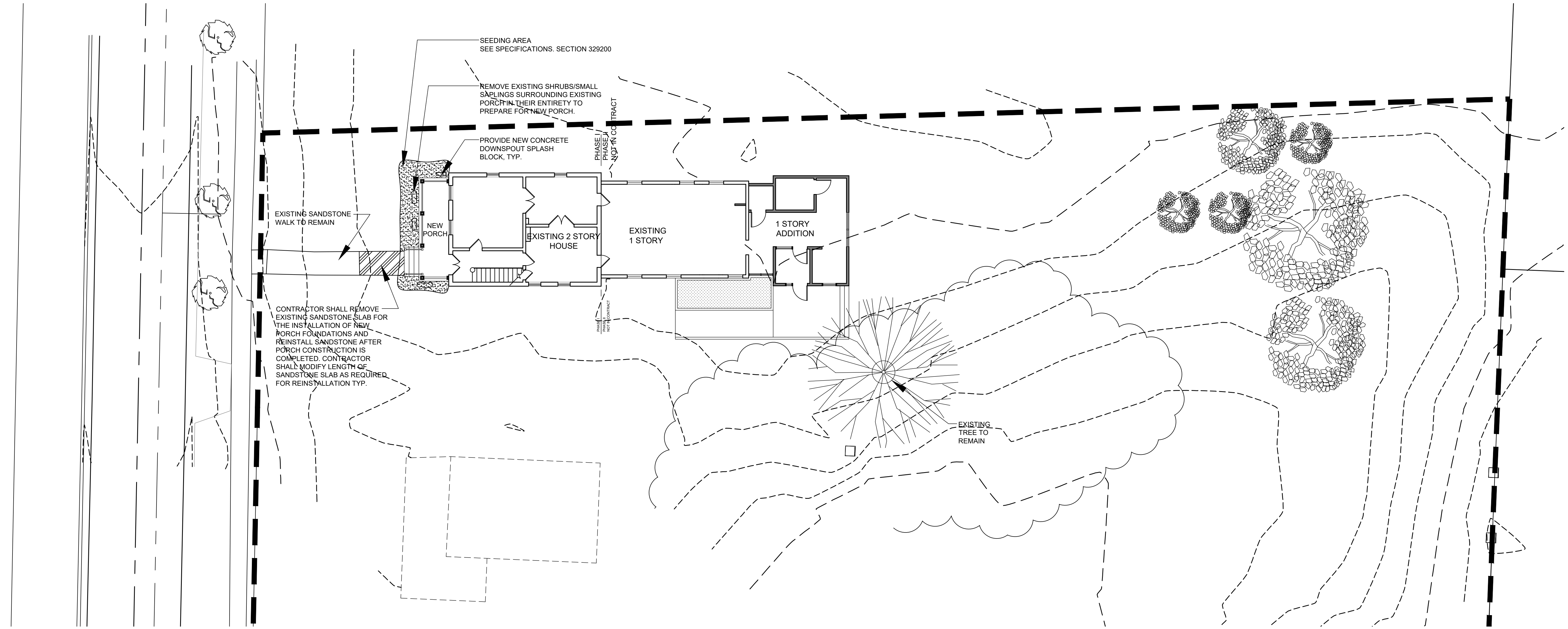
Definitions NGVD- National Geodetic Vertical Datum
 NAVD- North American Vertical Datum



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NOTE:
 TEMPORARY EROSION AND SEDIMENTATION CONTROL
 A. PROVIDE TEMPORARY EROSION - AND SEDIMENTATION-CONTROL MEASURES TO PREVENT SOIL EROSION AND DISCHARGE OF SOIL-BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS, ACCORDING TO EROSION-AND SEDIMENTATION-CONTROL DRAWINGS AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.



**REHABILITATION OF
 WILSON BRUCE EVANS HOUSE**
 PHASE I PORCH RECONSTRUCTION AND MASONRY REPAIR
 33 E. VINE STREET OBERLIN, OHIO 44074

REVISIONS

NO.	DATE	DESCRIPTION
1	8/10/2023	PERMIT SET
2	8/31/2023	RE-BID SET

DRAWING TITLE

STIE PLAN

PROJECT NO.: 2118

DATE: 8/10/2023

SCALE:

DRAWN:

CHECKED:

© ROBERT P. MADISON INTERNATIONAL, INC.

SHEET NUMBER

SD-1

1 SITE PLAN
 SCALE: 3/32" = 1'-0"



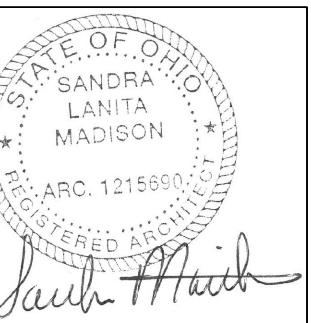
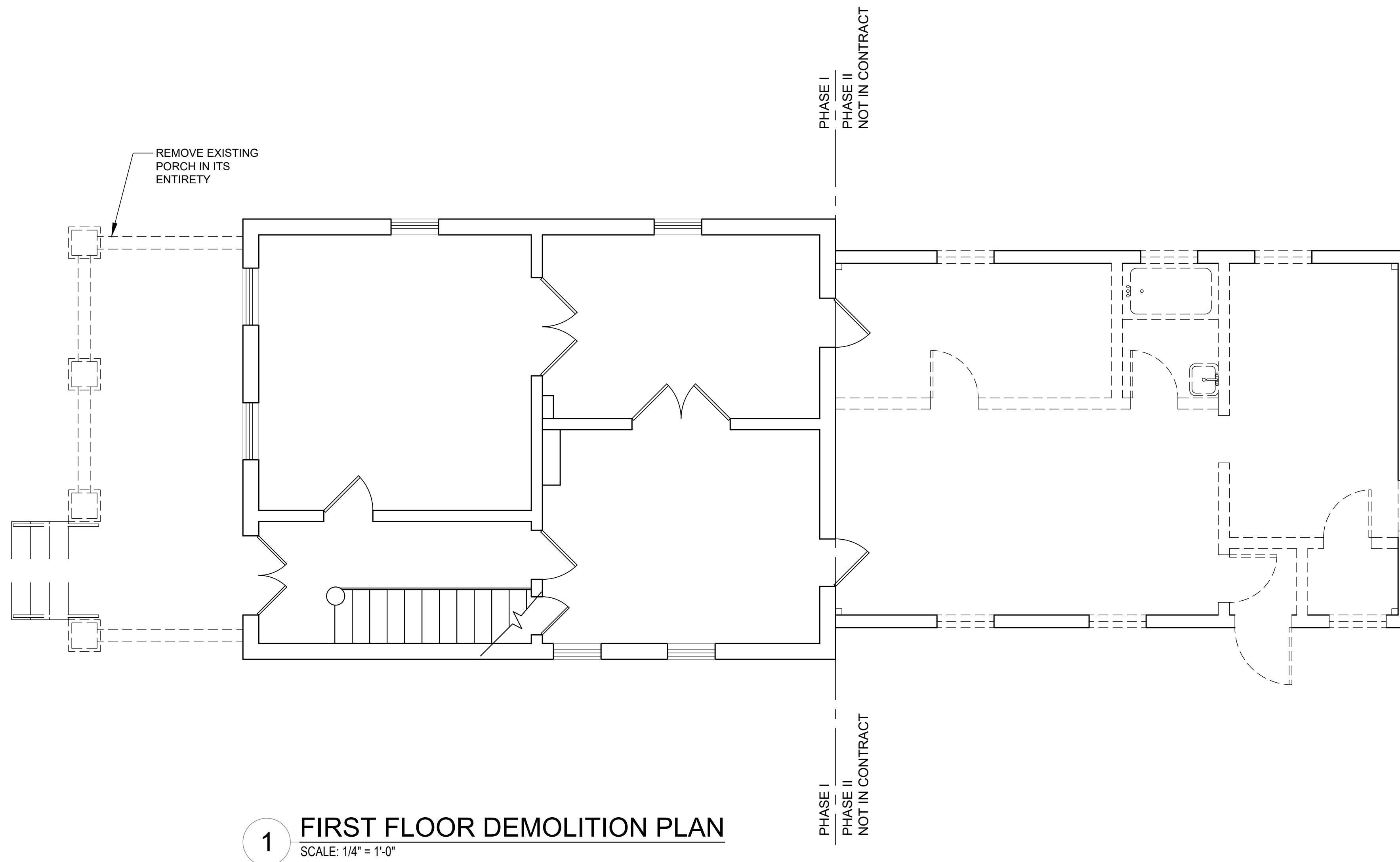
FRONT VIEW PHOTO

EXISTING PORCH TO BE DEMOLISHED IN ITS ENTIRETY, INCLUDING BRICK PIERS AND FOUNDATION. PREPARE FOR NEW CONSTRUCTION.



SIDE VIEW PHOTO

NOTE:
EXISTING SOIL SHALL ACCOMMODATE 1500 PSF BEARING CAPACITY. NOTIFY ARCHITECT IF SOILS DO NOT TEST AT THAT LEVEL OF CAPACITY.



**REHABILITATION OF
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8/31/2023	RE-BID SET	

DRAWING TITLE

FIRST FLOOR
DEMOLITION PLAN

PROJECT NO.: 2118

DATE: 8/10/2023

SCALE:

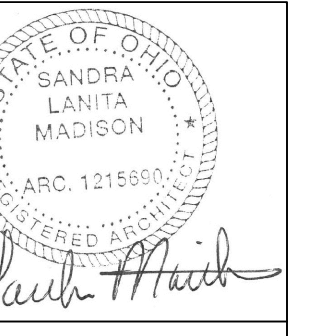
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SHEET NUMBER

D-1



ARCHITECT
ROBERT P. MADISON
 INTERNATIONAL, INC.
 1215 SUPERIOR AVENUE
 CLEVELAND, OH 44114

**REHABILITATION OF
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DRAWING TITLE

OVERALL FIRST FLOOR PLAN

PROJECT NO.: 2118

DATE: 8/10/2023

SCALE:

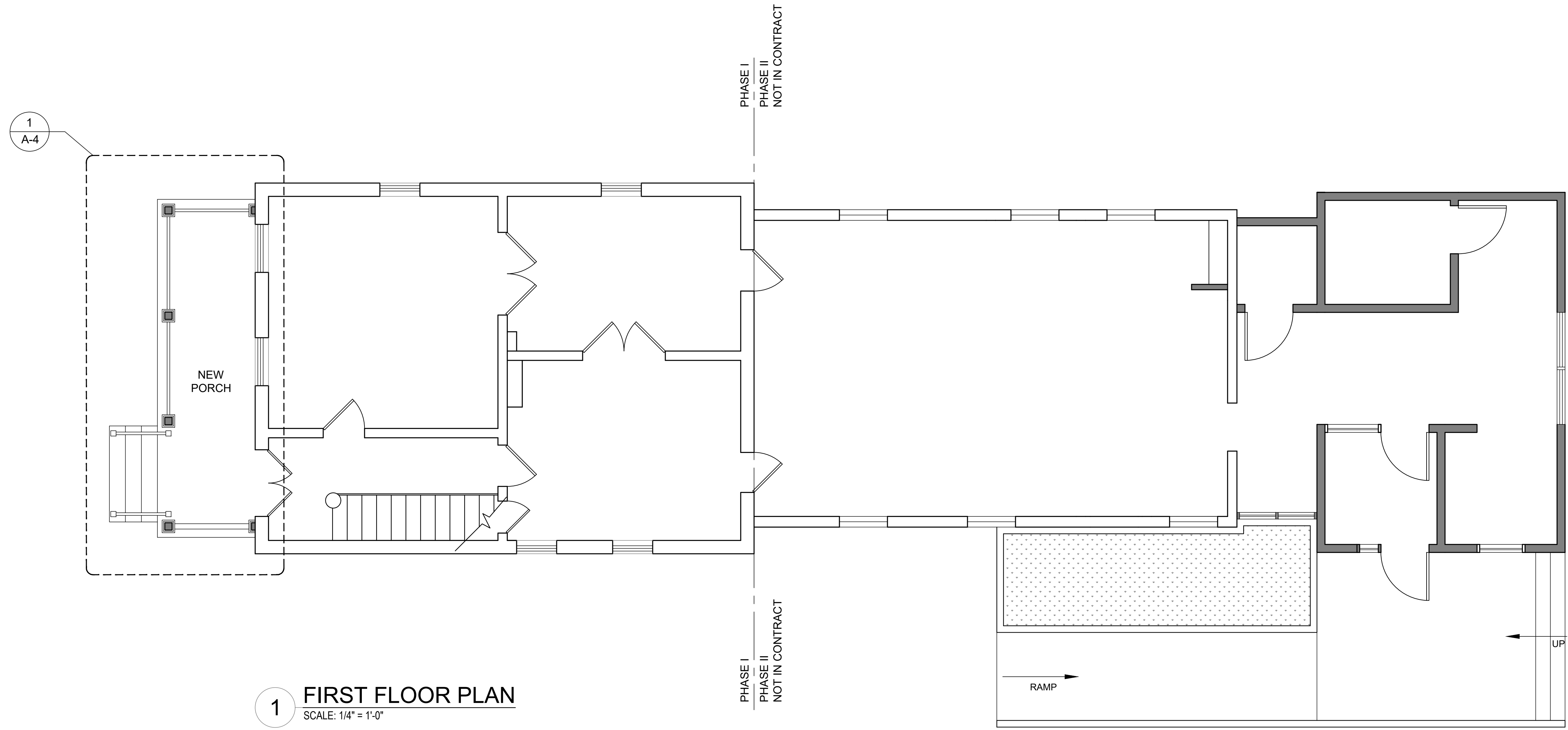
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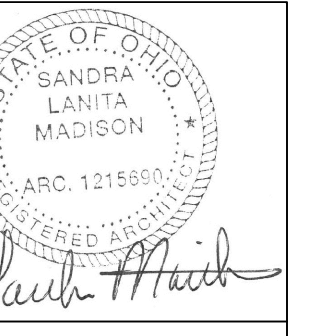
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SHEET NUMBER

A-1



1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



ARCHITECT
ROBERT P. MADISON
 INTERNATIONAL, INC.
 1215 SEVERIN AVENUE
 CLEVELAND, OH 44114

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WEST AND
 NORTH
 ELEVATIONS

PROJECT NO.: 2118

DATE: 8/10/2023

SCALE:

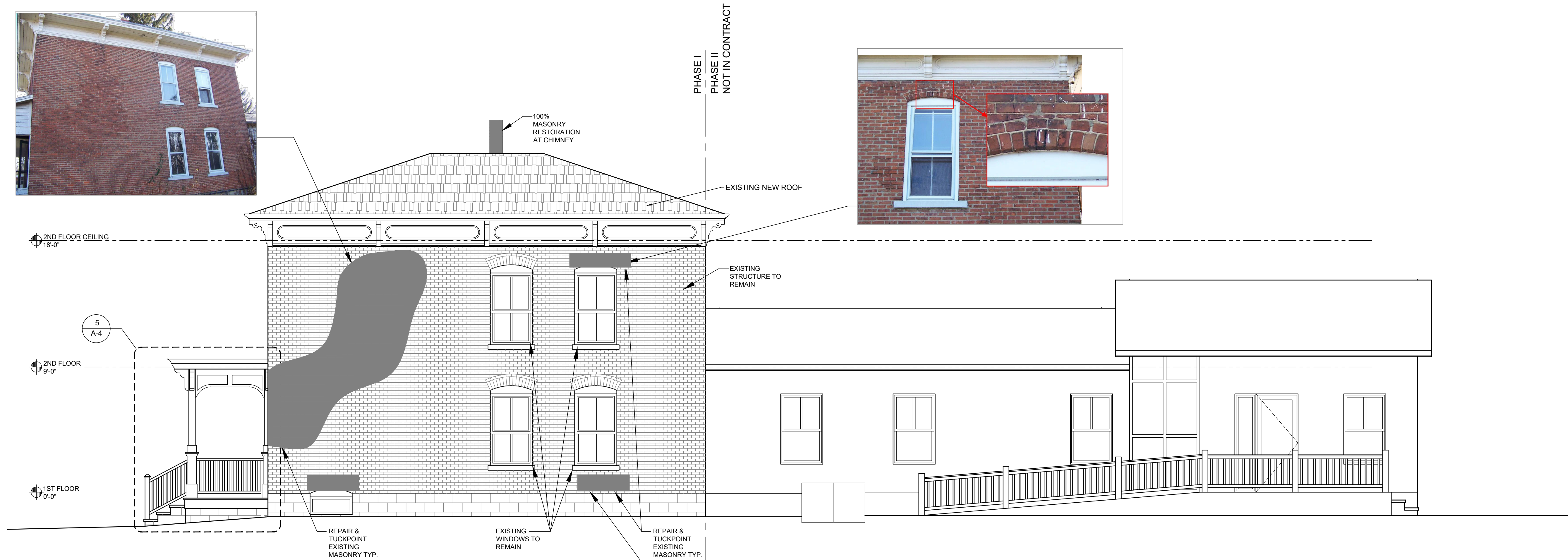
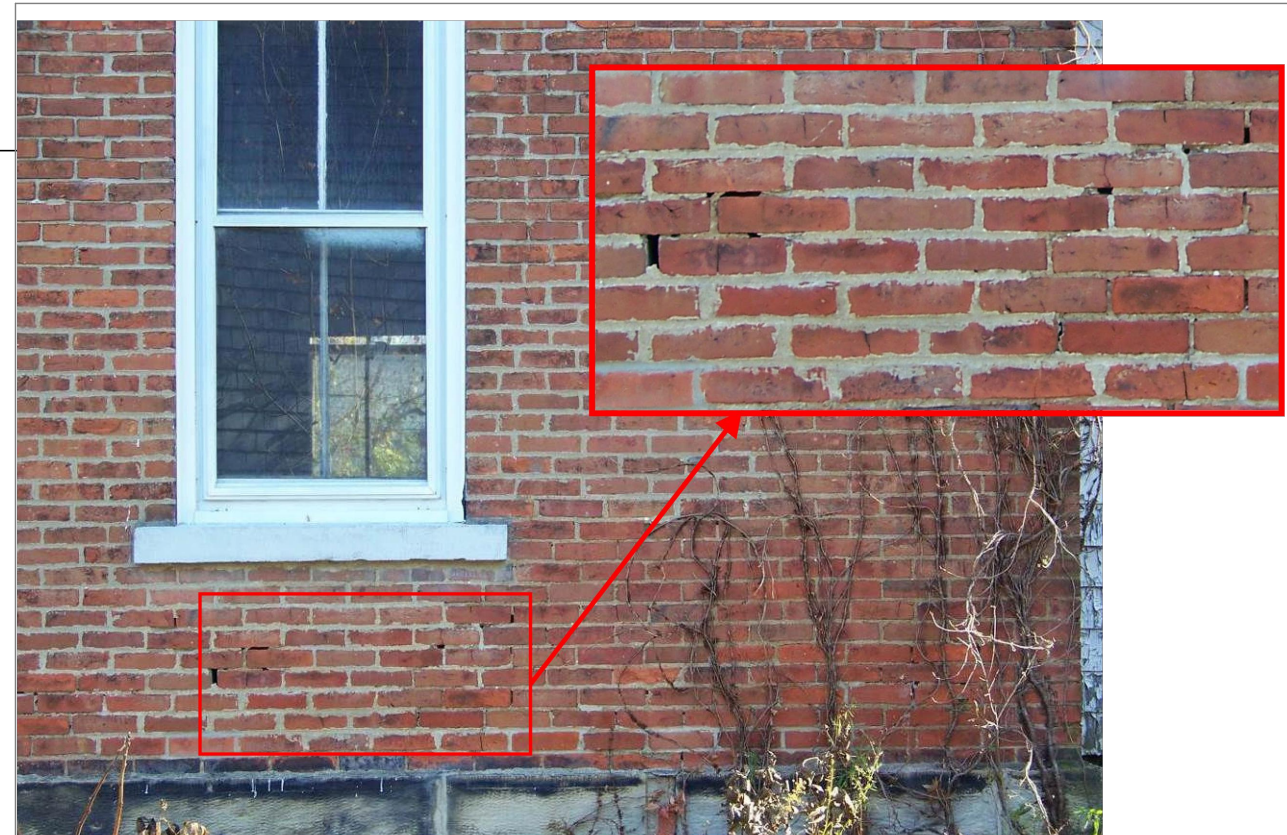
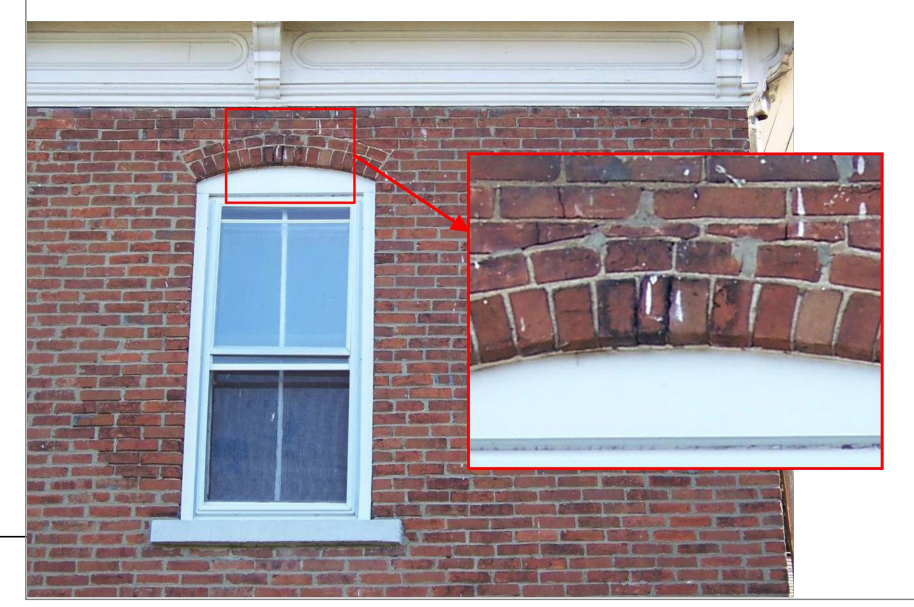
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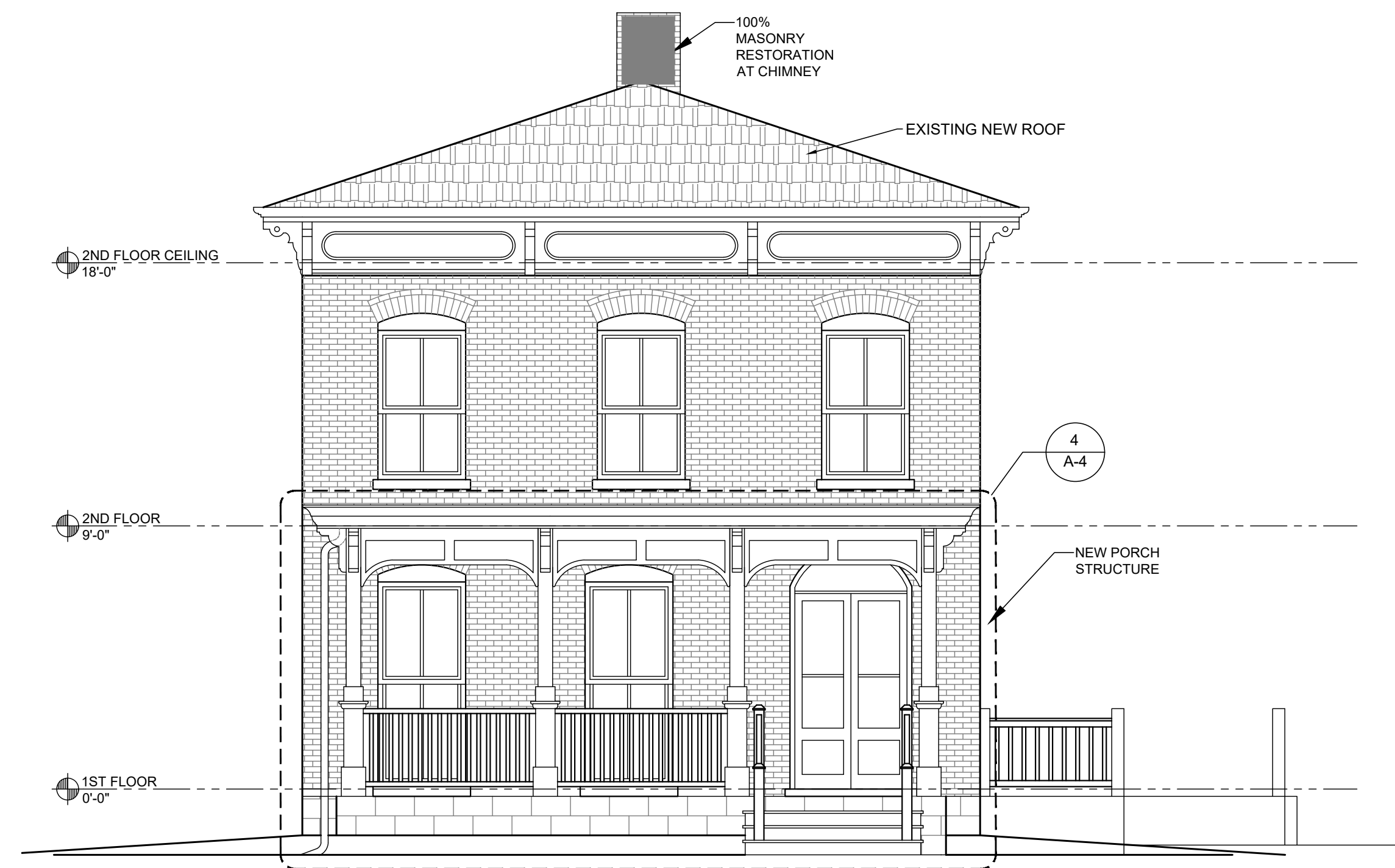
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SHEET NUMBER

A-2

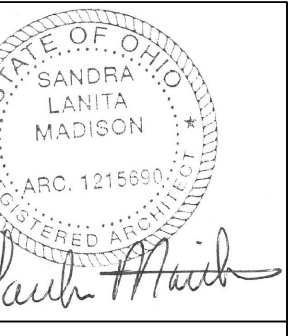


1 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

GENERAL NOTES:
 25% OF MASONRY TO BE REPAIRED AND TUCKPOINTED ON ALL
 FACADES TYP.
 EXISTING MASONRY SHALL BE CLEANED.



ARCHITECT
ROBERT P. MADISON
 INTERNATIONAL, INC.
 121556
 121556
 CLEVELAND, OH 44114

GENERAL NOTES:
 25% OF MASONRY TO BE REPAIRED AND
 TUCKPOINTED ON ALL FACADES TYP.
 EXISTING MASONRY SHALL BE CLEANED.

**REHABILITATION OF
 WILSON BRUCE EVANS HOUSE**
 PHASE I PORCH RECONSTRUCTION AND MASONRY REPAIR
 33 E. VINE STREET OBERLIN, OHIO 44074

REVISIONS

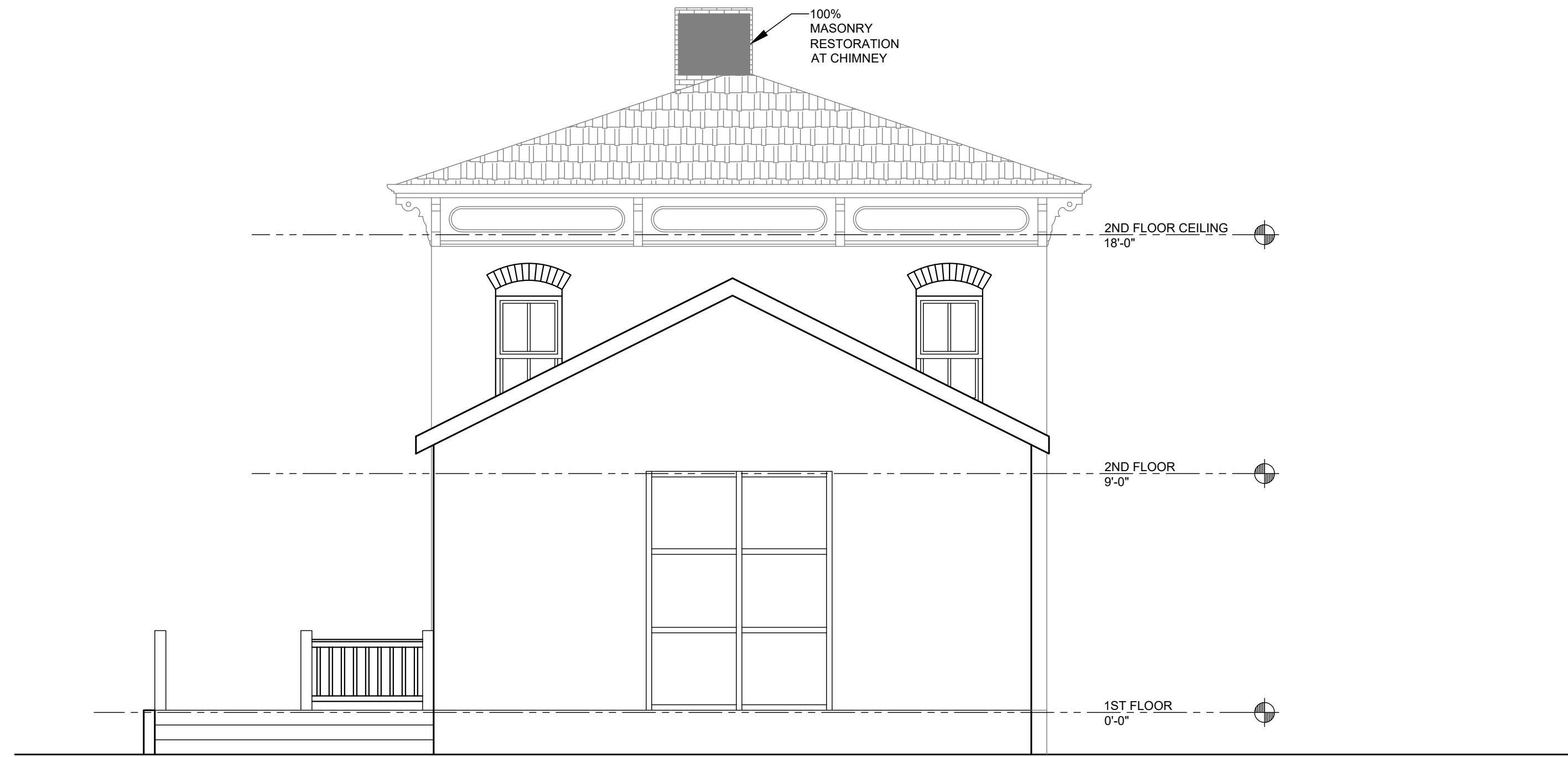
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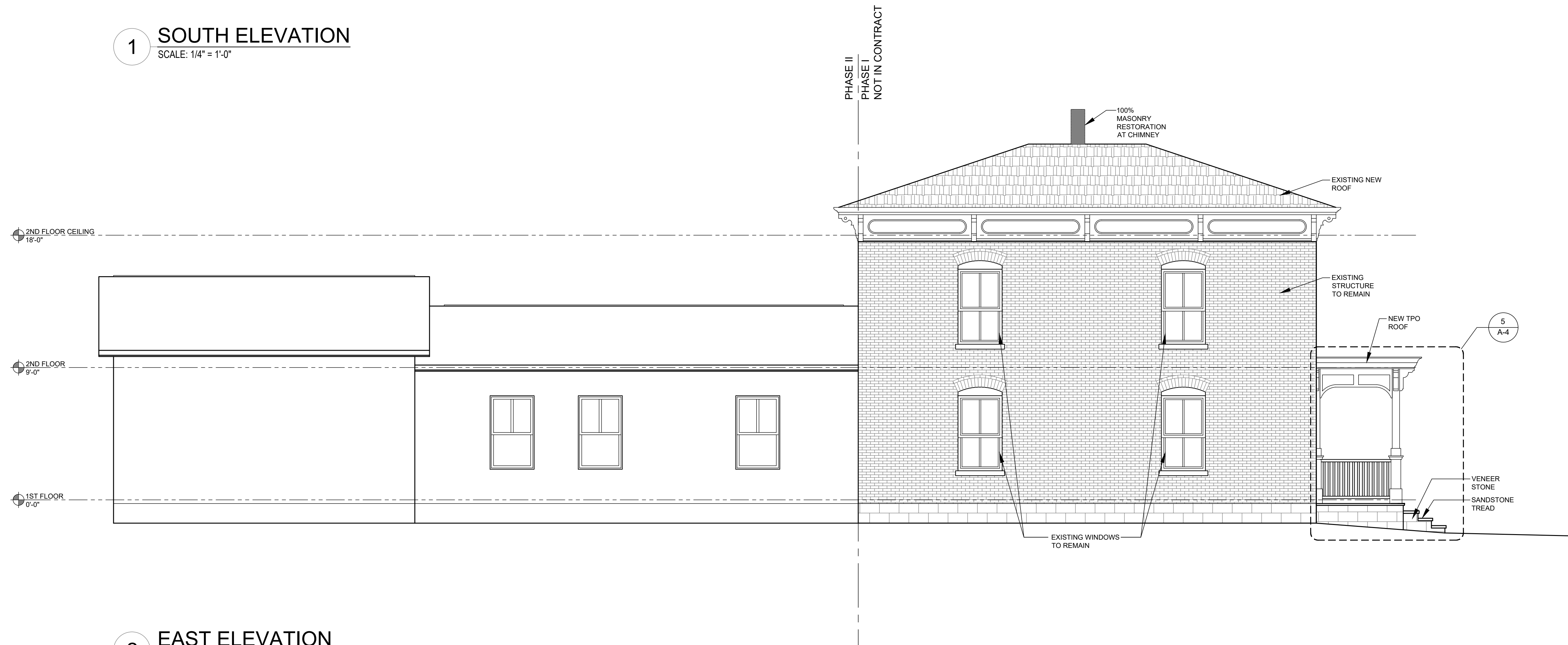
**SOUTH AND
 EAST
 ELEVATIONS**

PROJECT NO.: 2118
 DATE: 8/10/2023
 SCALE:
 DRAWN:
 CHECKED:
 © ROBERT P. MADISON INTERNATIONAL, INC.
SHEET NUMBER

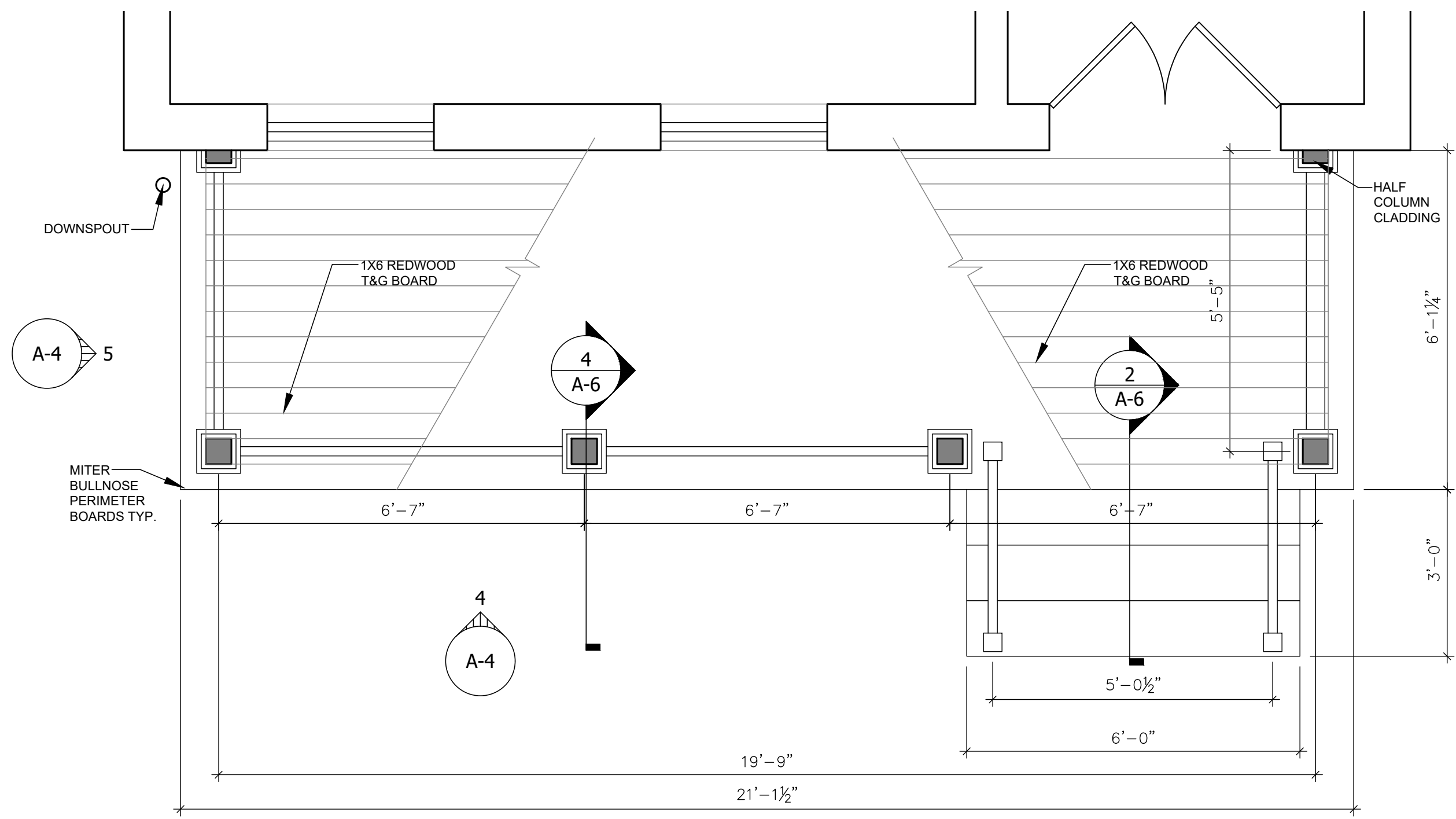
A-3



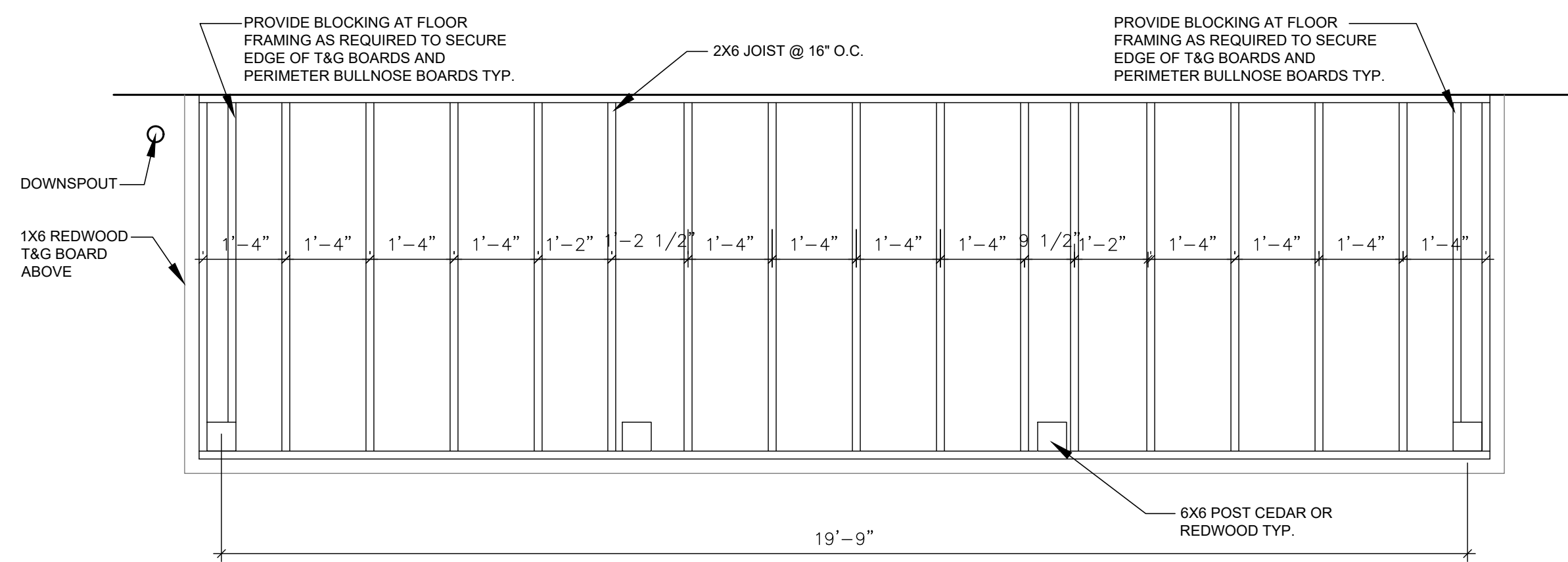
1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



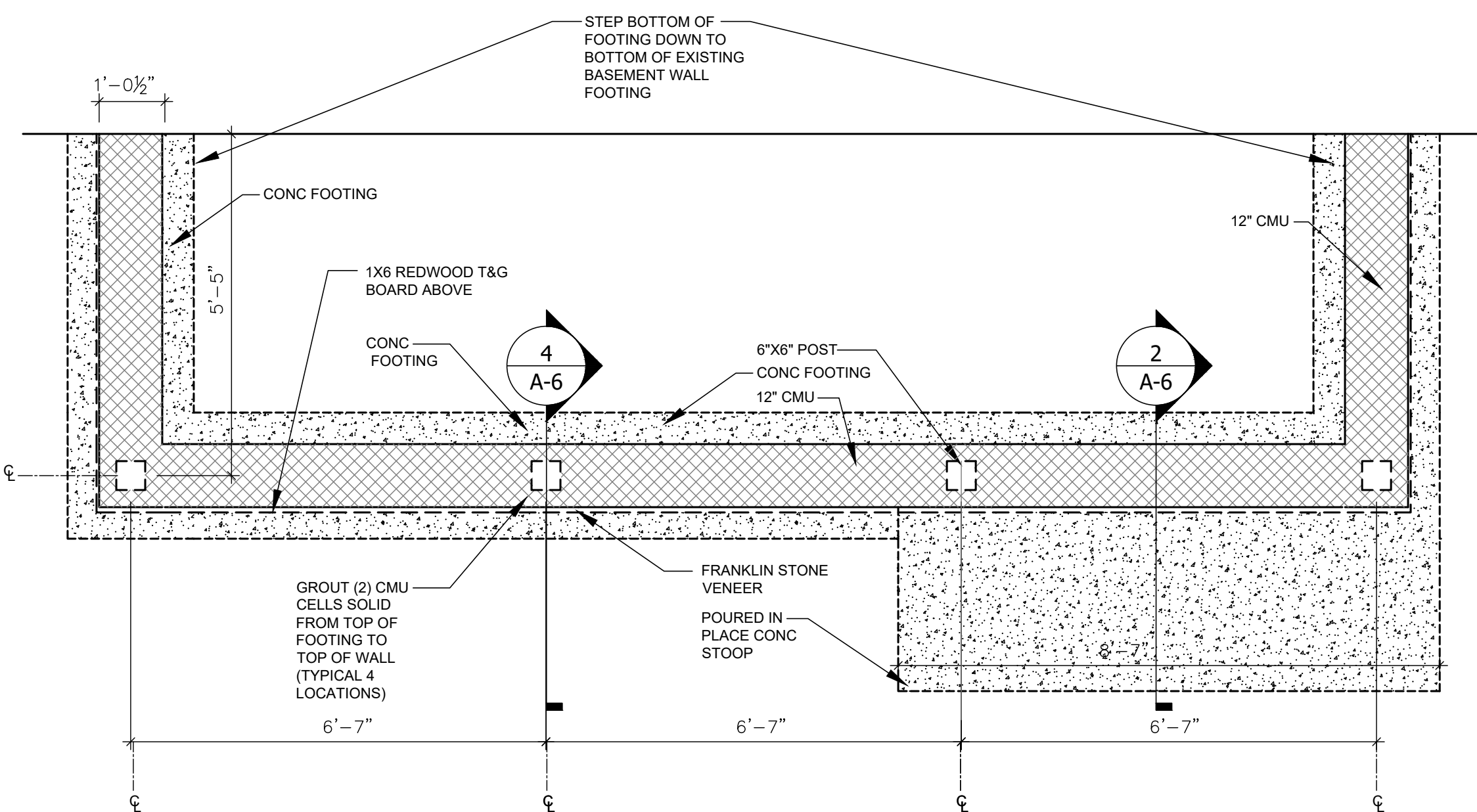
2 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



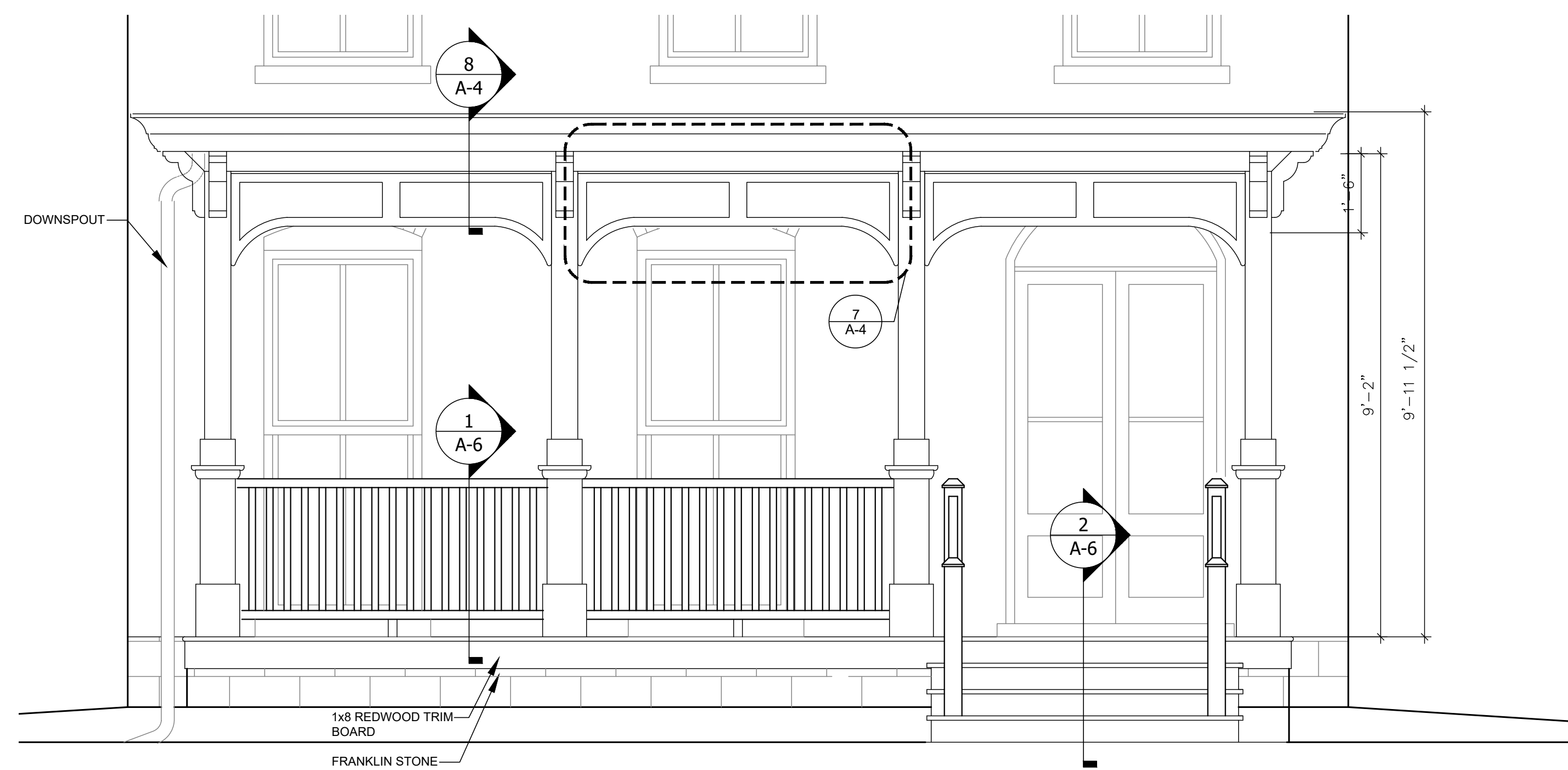
1 PLAN
SCALE: 1/2" = 1'-0"



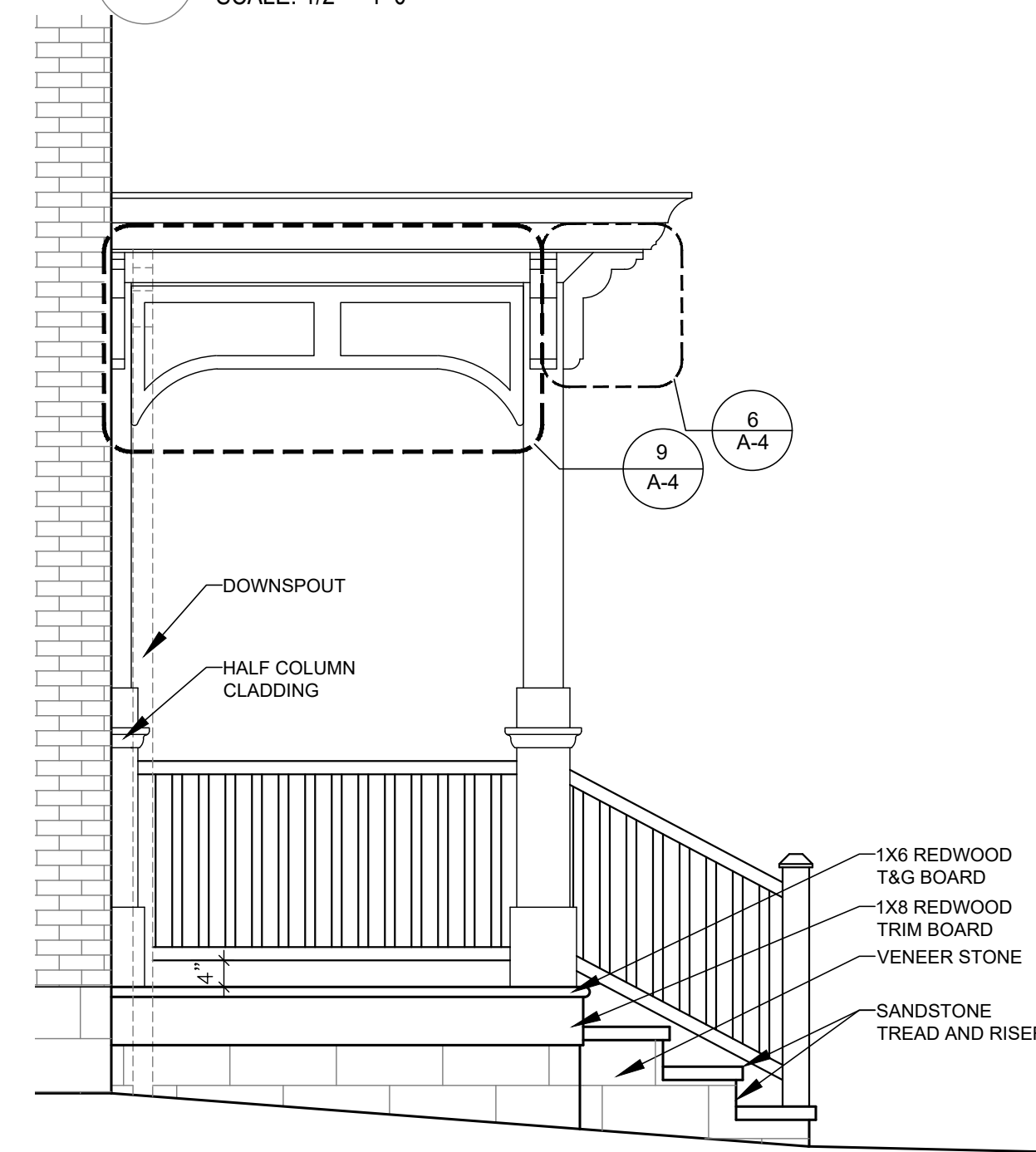
2 PORCH FLOOR FRAMING
SCALE: 1/2" = 1'-0"



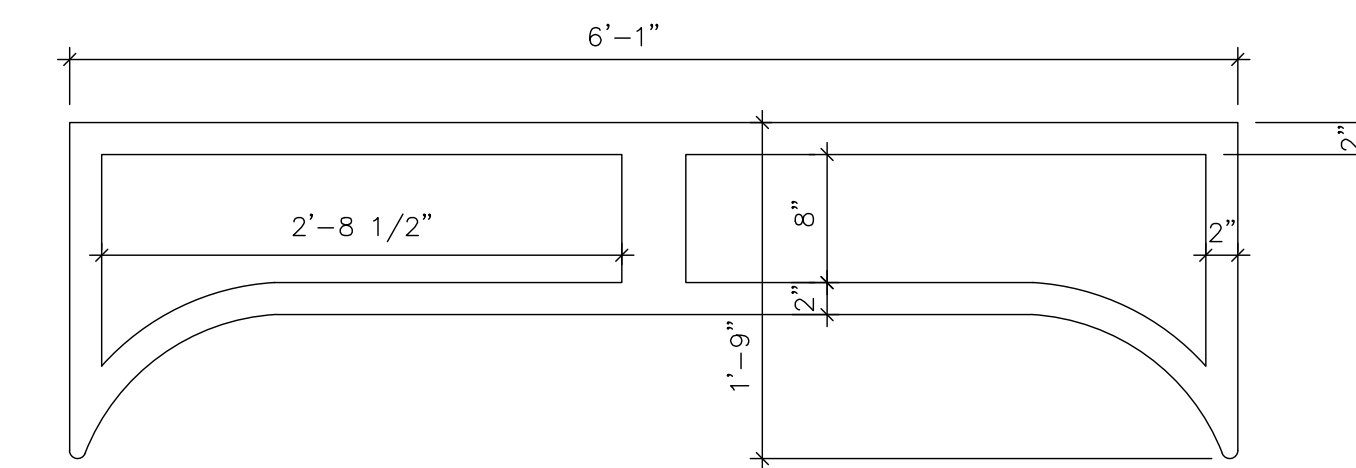
3 PORCH FOUNDATION PLAN
SCALE: 1/2" = 1'-0"



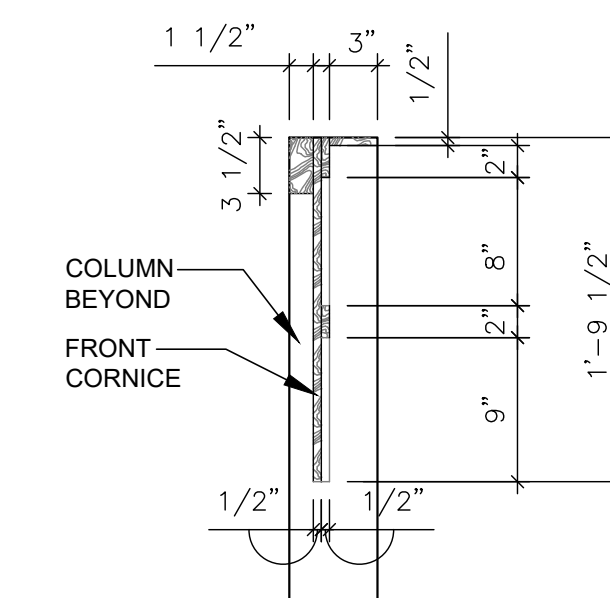
4 FRONT ELEVATION
SCALE: 1/2" = 1'-0"



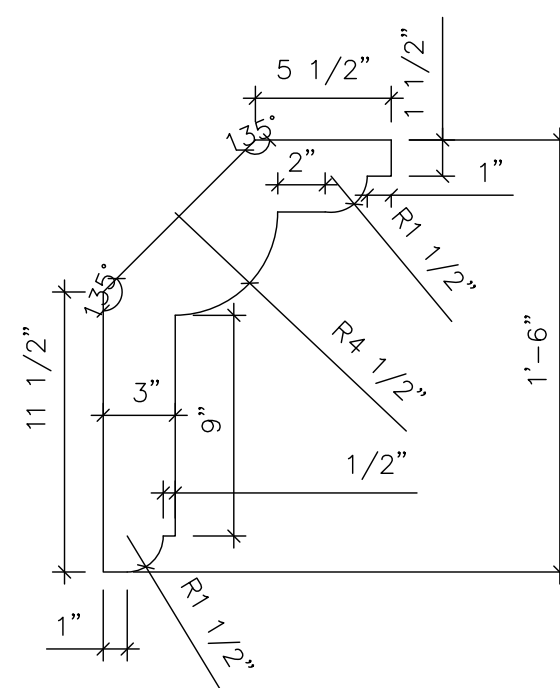
5 SIDE ELEVATION
SCALE: 1/2" = 1'-0"



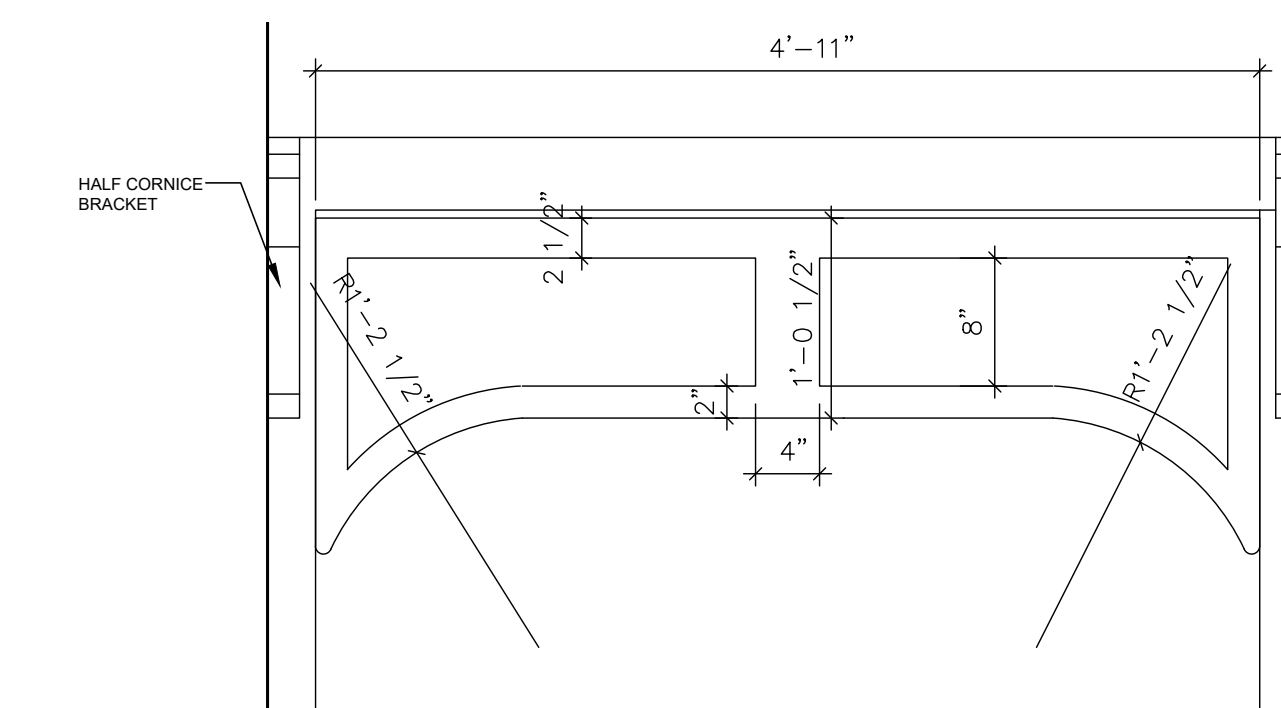
7 TYPICAL FRONT CORNICE ELEVATION
SCALE: 1" = 1'-0"



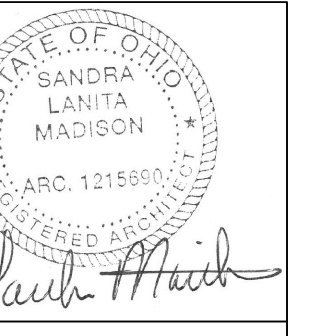
8 SECTION AT FASCIA
SCALE: 1" = 1'-0"



6 CORNICE BRACKET
SCALE: 1 1/2" = 1'-0"



9 TYPICAL SIDE CORNICE ELEVATION
SCALE: 1" = 1'-0"



ARCHITECT
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**REHABILITATION OF
WILSON BRUCE EVANS HOUSE**
PHASE I PORCH RECONSTRUCTION AND MASONRY REPAIR
33 E. VINE STREET OBERLIN, OHIO 44074

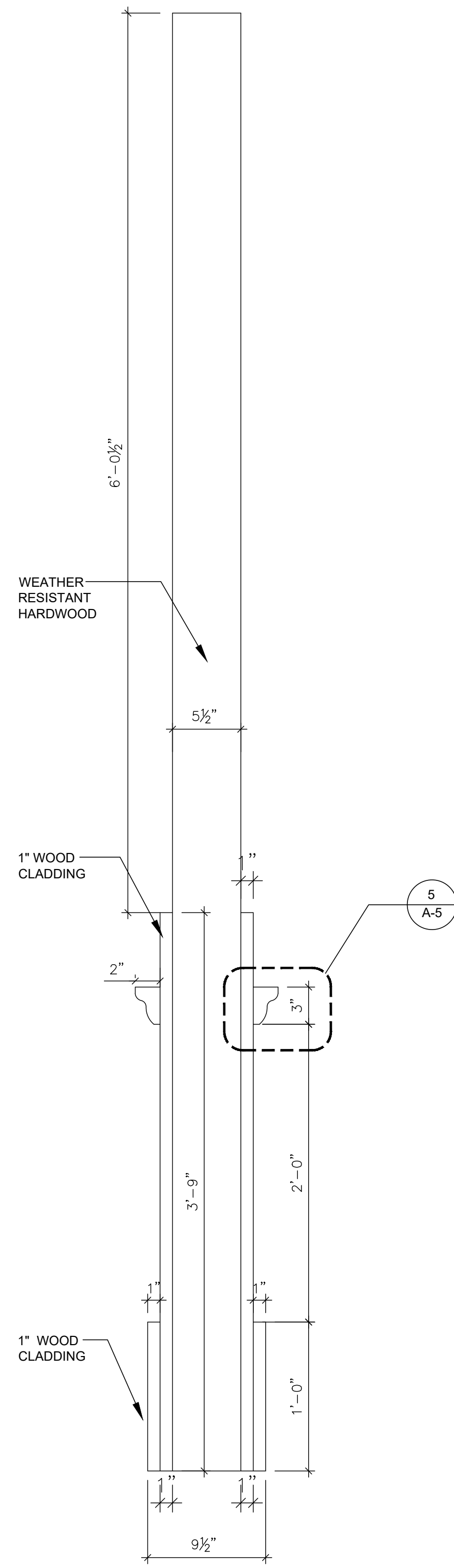
REVISIONS

NO.	DATE	DESCRIPTION
8/10/2023	PERMIT SET	
8/31/2023	RE-BID SET	

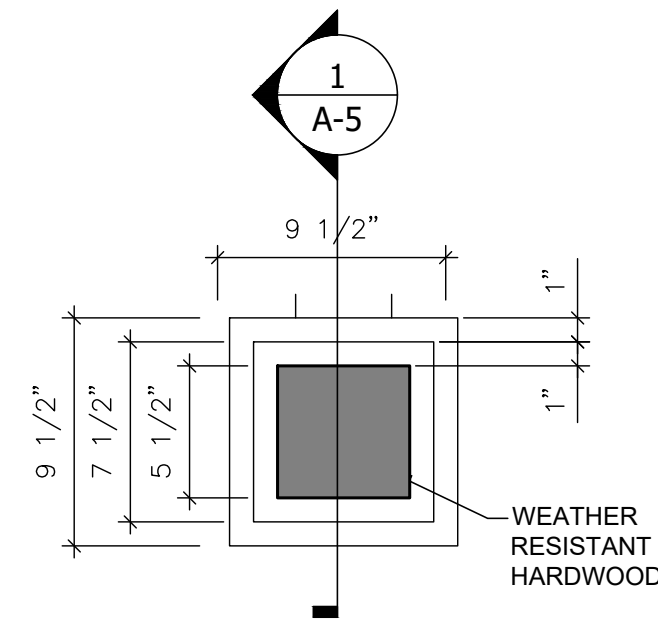
DRAWING TITLE

ENLARGED
PORCH PLANS
AND DETAILS

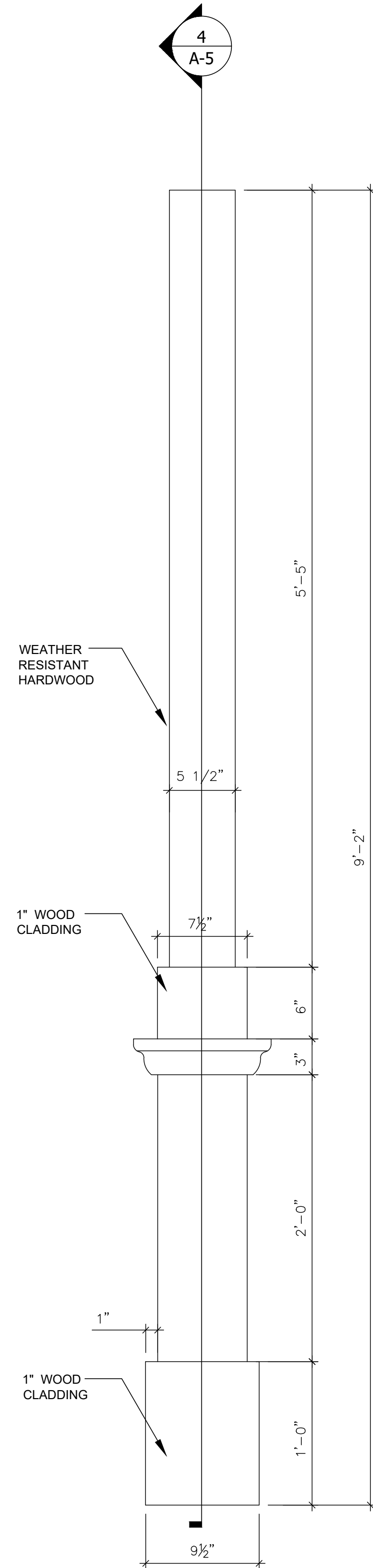
PROJECT NO.: 2118
DATE: 8/10/2023
SCALE:
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SHEET NUMBER



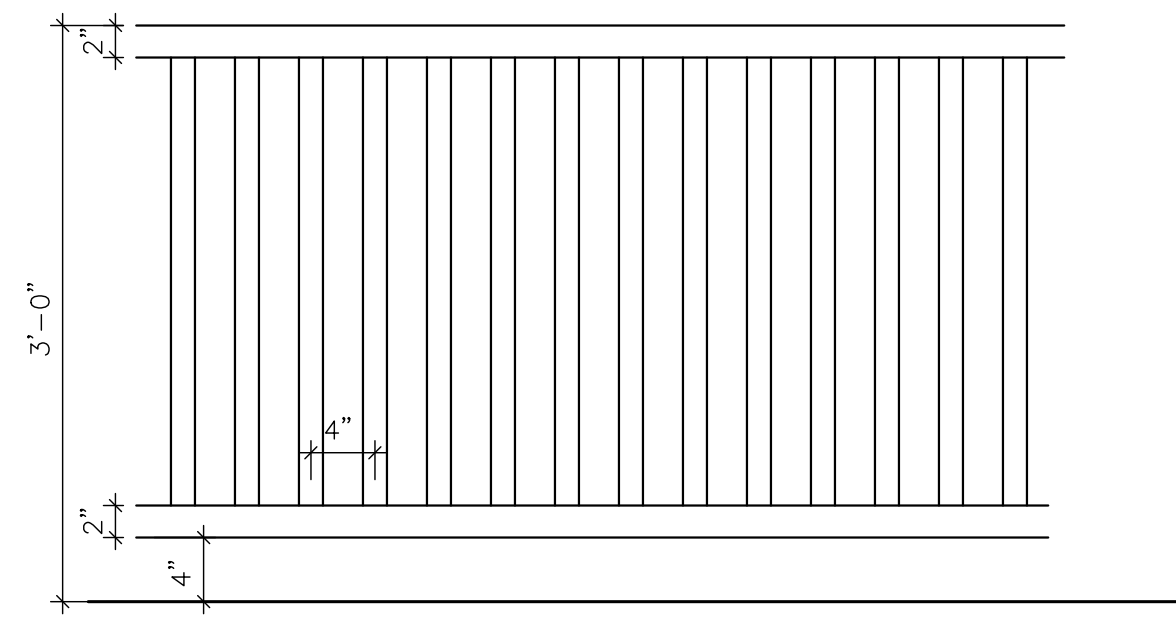
1 COLUMN SECTION
SCALE: 1 1/2" = 1'-0"



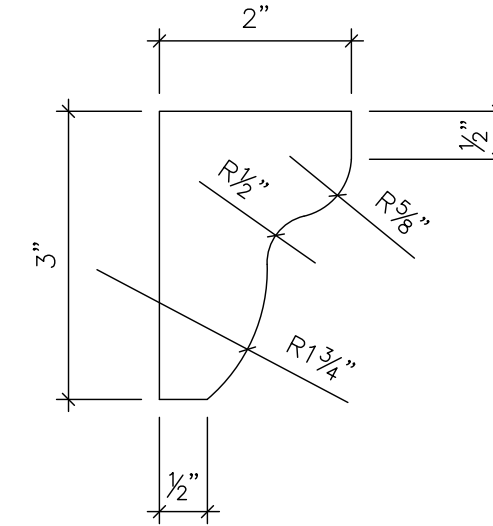
2 COLUMN PLAN
SCALE: 1 1/2" = 1'-0"



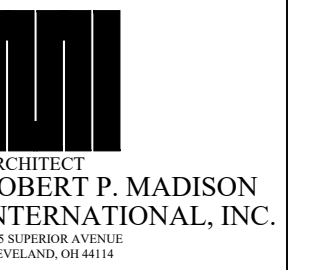
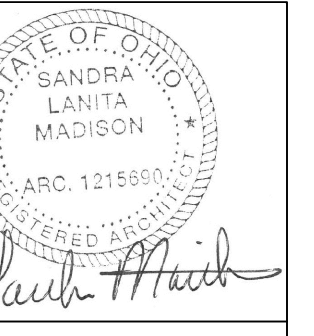
3 COLUMN
SCALE: 1 1/2" = 1'-0"



4 TYPICAL RAILING
SCALE: 1" = 1'-0"



5 POST MOLDING
SCALE: 6" = 1'-0"



**REHABILITATION OF
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REVISIONS

NO.	DATE	DESCRIPTION
8/10/2023	PERMIT SET	
8/31/2023	RE-BID SET	

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PORCH DETAIL

PROJECT NO.: 2118
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A-5

